



# 88 BROADWAY FAMILY + 735 DAVIS SENIOR AFFORDABLE HOUSING

NORTHEAST WATERFRONT DESIGN ADVISORY GROUP #3



04/04/18





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# PROJECT TEAM



## BRIDGE Housing Corporation

- Founded in 1983
- Based in San Francisco
- 23,000 homes completed and in pipeline
- 60+ cities and towns served in California and the Pacific Northwest
- 1,838 units completed in San Francisco with over 2,500 in the pipeline
- Robust Resident Services Program



## The John Stewart Company

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- Founded in 1978
- Based in San Francisco
- Expertise in Residential and Retail Development & Management
- Currently managing 5,648 affordable units in San Francisco (and 25,000+ statewide)
- Developing first HOPE SF project– Hunters View
- Renovating 8 SFHA properties (942 units) under RAD Program

## Agencies

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Mayor's Office of Housing and Community Development  
Port of San Francisco

## Partners

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### YMCA

- 160 Years serving in SF
- 5 Child Development Centers (SF, San Mateo & Marin counties)

### Lutheran Social Services

- Over 15 yrs experience in providing Case Management Services to low income and formerly homeless families, single adults and seniors in the City of San Francisco

### Retail Specialists: Vikki Johnson/Pam Mendelsohn

- 30 year partnership
- Development Consultants on high profile deals, including Transbay Transit Center, City Place, Santana Row, San Francisco Center, Ghirardelli Square, Palace Hotel



## Leddy Maytum Stacy Architects

- Founded in 2000
- Based in San Francisco
- 2017 National AIA Architecture Firm Award Recipient
- Expertise in:
  - Affordable Multi-Family Residential Housing
  - Mixed Use
  - Historical Neighborhoods
  - Community and Mission Driven Projects
  - Green Design

# Major Public Meetings

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|                    |  |
|--------------------|--|
| July 21, 2015      | MOH/Port Presentation of Mark Cavagnero's Massing Study                    |
| May 18, 2016       | Initial Developer Team Meeting with 88 Broadway Working Group              |
| May 25, 2016       | Presentation to Supervisor Peskin  |
| July 13, 2016      | Developer Team introduction to NEWAG (Northeast Waterfront Advisory Group) |
| August 9, 2016     | Developer Team introduction to Port Commission                             |
| August 15, 2016    | Telegraph Hill Dwellers Meeting  |
| August 17, 2016    | Community Meeting at Port  |
| September 1, 2016  | Planning Pre-Application Meeting 1   |
| October 18, 2016   | Planning Pre-Application Meeting 2   |
| November 29, 2016  | Planning Environmental Scoping Meeting                                     |
| December 9, 2016   | MOHCD Design Check In  |
| February 9, 2017   | MOHCD Design Check In  |
| February 13, 2017  | Planning Historical Preservation Meeting                                   |
| March 15, 2017     | Architecture Review Committee SF Historic Preservation Commission          |
| March 27, 2017     | SF Port Authority/ MOH Community Meeting                                   |
| April 6, 2017      | Northeast Waterfront Design Advisory Group (NEWAG) Meeting #2              |
| May 10, 2017       | Heritage issues Committee  |
| September 13, 2017 | San Francisco Housing Action Coalition                                     |
| December 11, 2017  | Waterfront Design Advisory Committee                                       |
| January 29, 2018   | Waterfront Design Advisory Committee                                       |
| March 8, 2018      | San Francisco Planning Commission  |
| April 2, 2018      | Heritage Issues Committee  |
| April 4, 2018      | Historic Planning Commission   |
| April 4, 2018      | Northeast Waterfront Design Advisory group (NEWAG) Meeting #3              |



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# SITE CONTEXT



**PROJECT LOCATION**



**A2.1 LMSA 88 BROADWAY/+735 DAVIS**  
NORTHEAST WATERFRONT  
DESIGN ADVISORY GROUP #3

**A2.1 LMSA 88 BROADWAY/+735 DAVIS**



 **NORTHEAST WATERFRONT HISTORIC DISTRICT**

 **TELEGRAPH HILL HISTORIC DISTRICT**

**SITE CONTEXT - HISTORIC DISTRICTS**

**A2.2** **LMSA** **88 BROADWAY/+735 DAVIS**

04/04/18

NORTHEAST WATERFRONT  
DESIGN ADVISORY GROUP #3

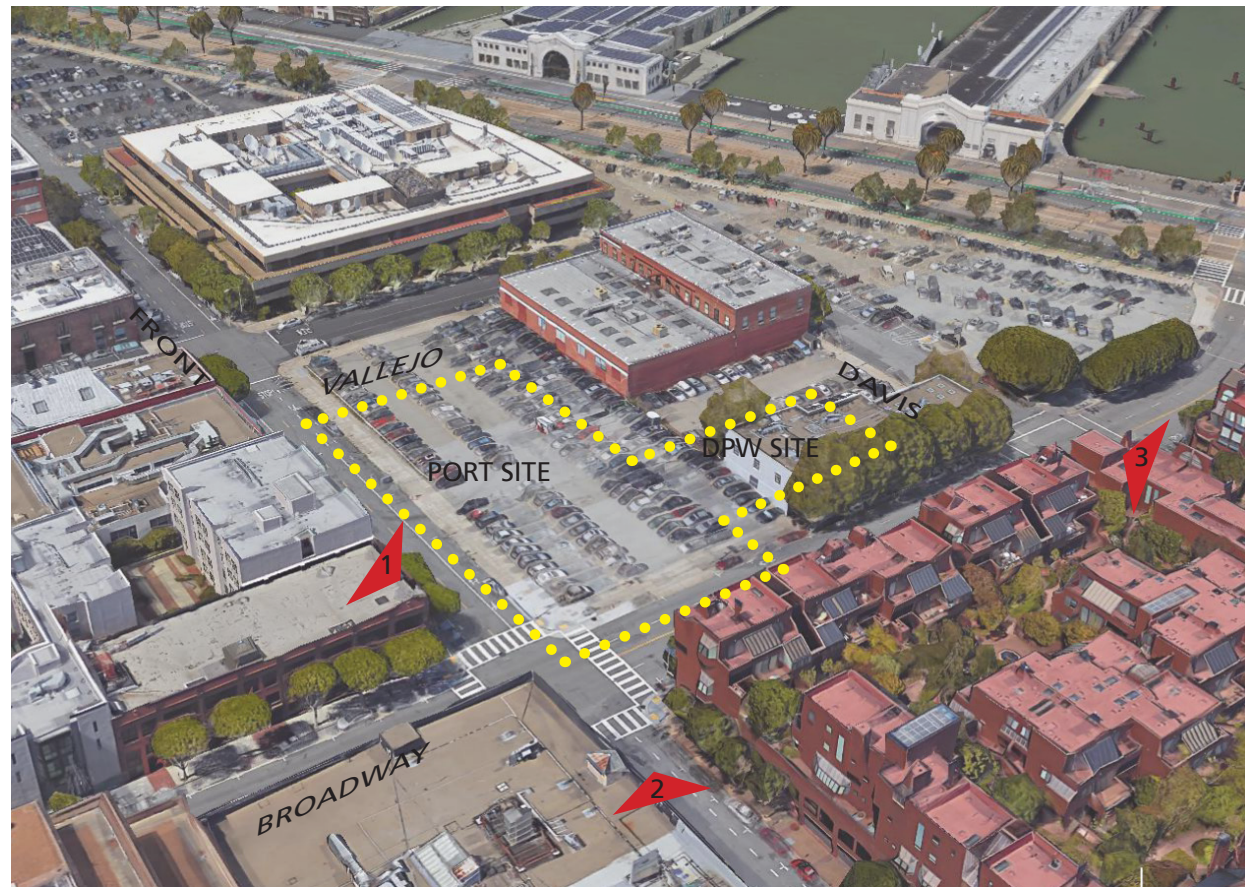




VIEW 1 LOOKING SOUTH ON FRONT STREET



VIEW 2 LOOKING NORTH ON FRONT STREET X BROADWAY



AERIAL VIEW + KEY

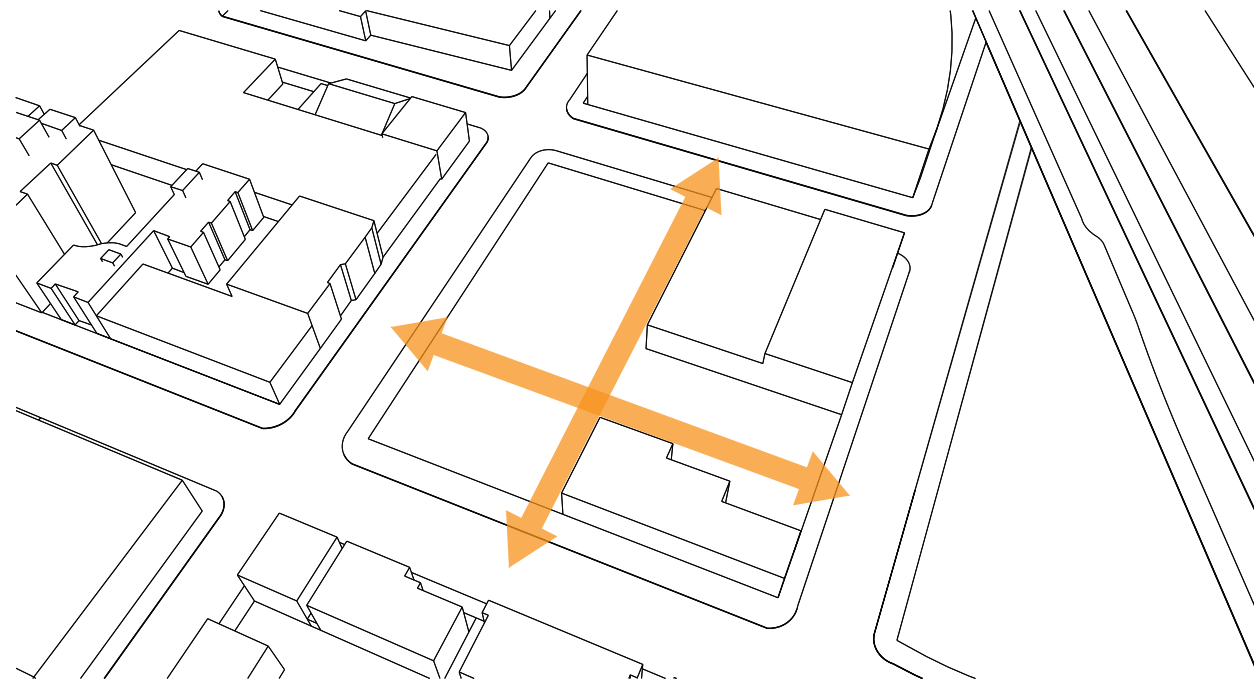


VIEW 3 LOOKING NORTH WEST ON BROADWAY AND DAVIS STREET

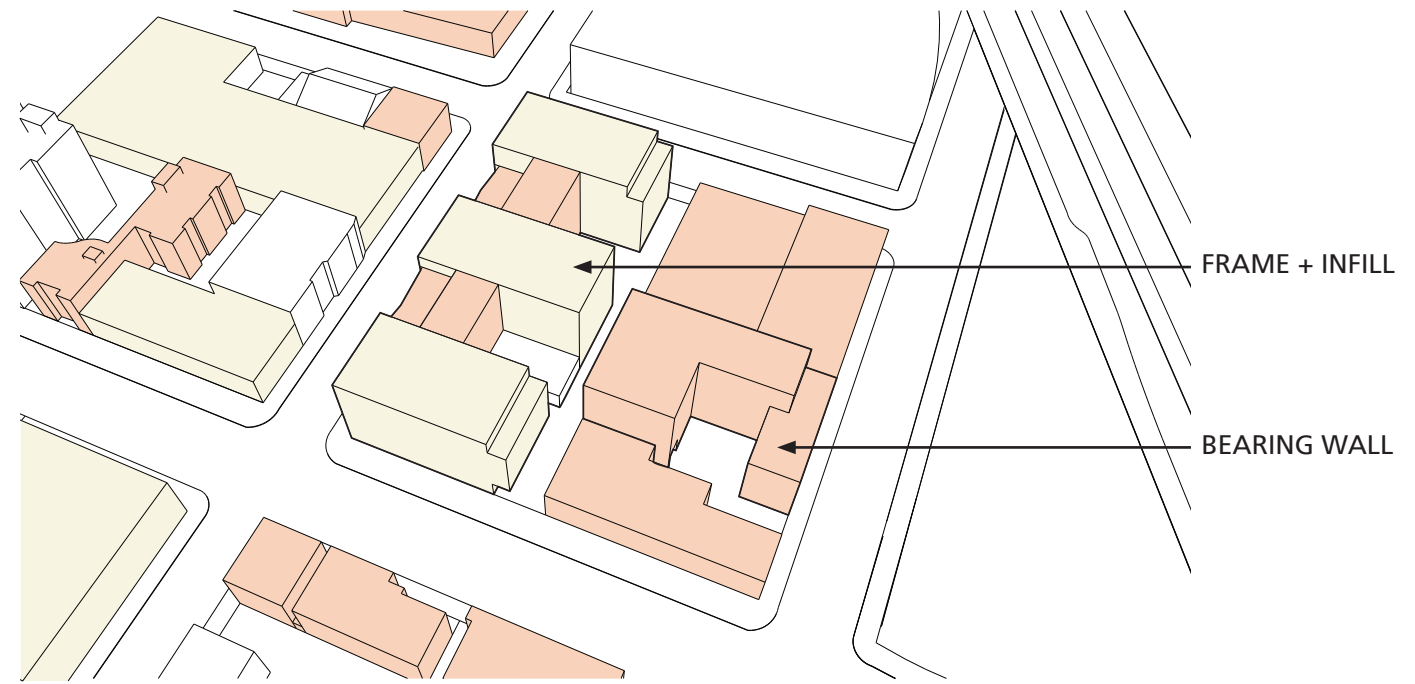
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# ARCHITECTURAL DRAWINGS

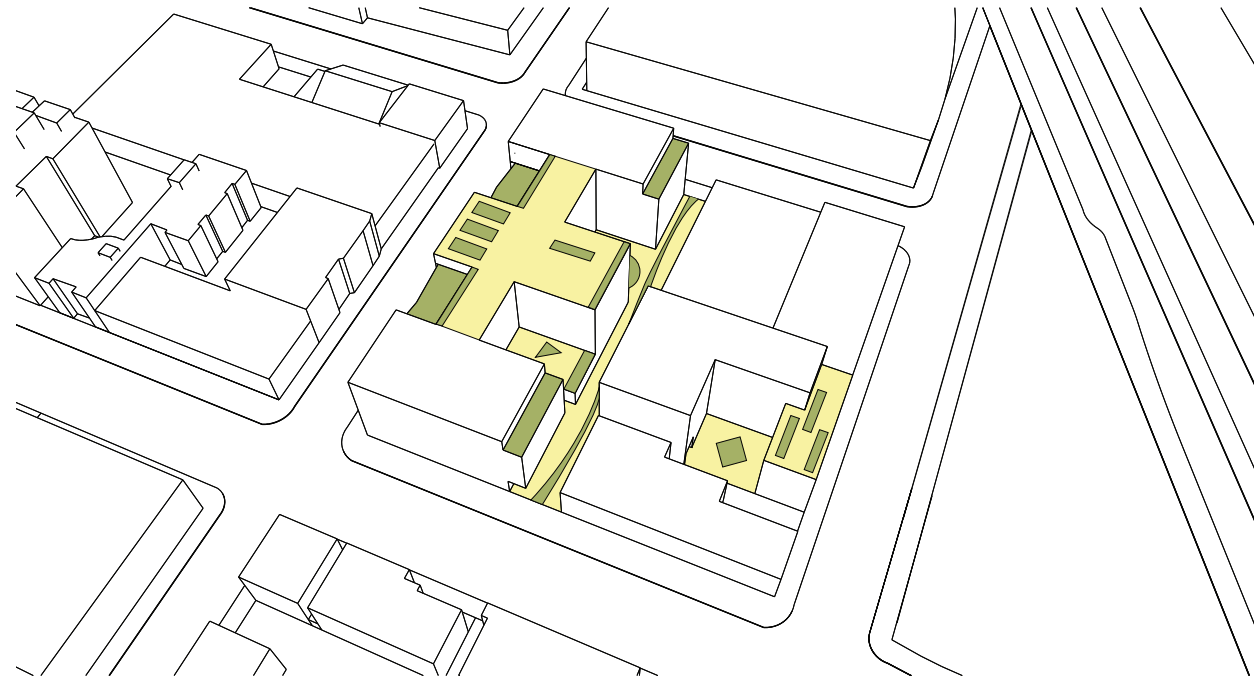
MID BLOCK PASSAGES



CONTEXTUAL HARMONY

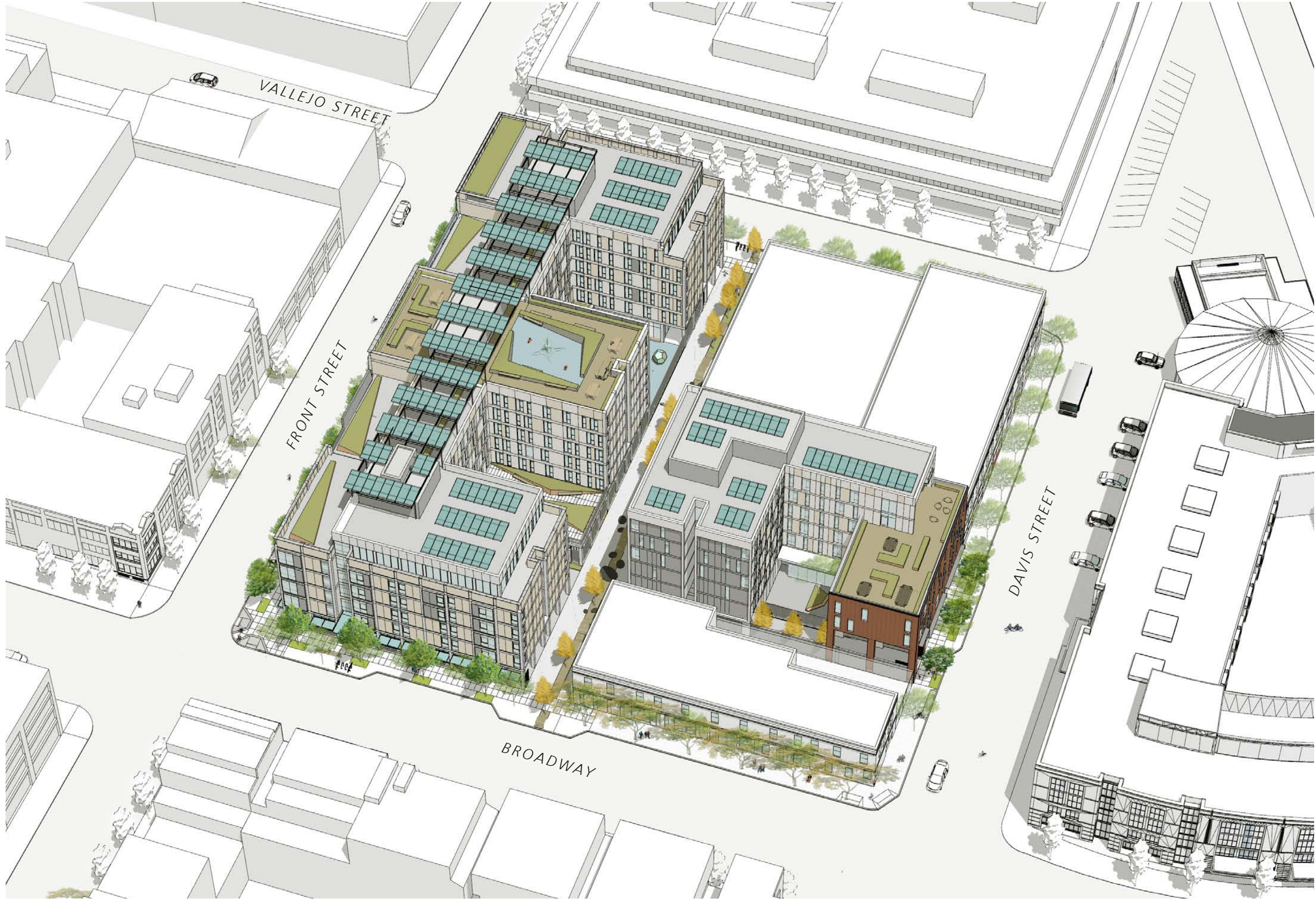


NETWORKED GREEN + OPEN SPACE

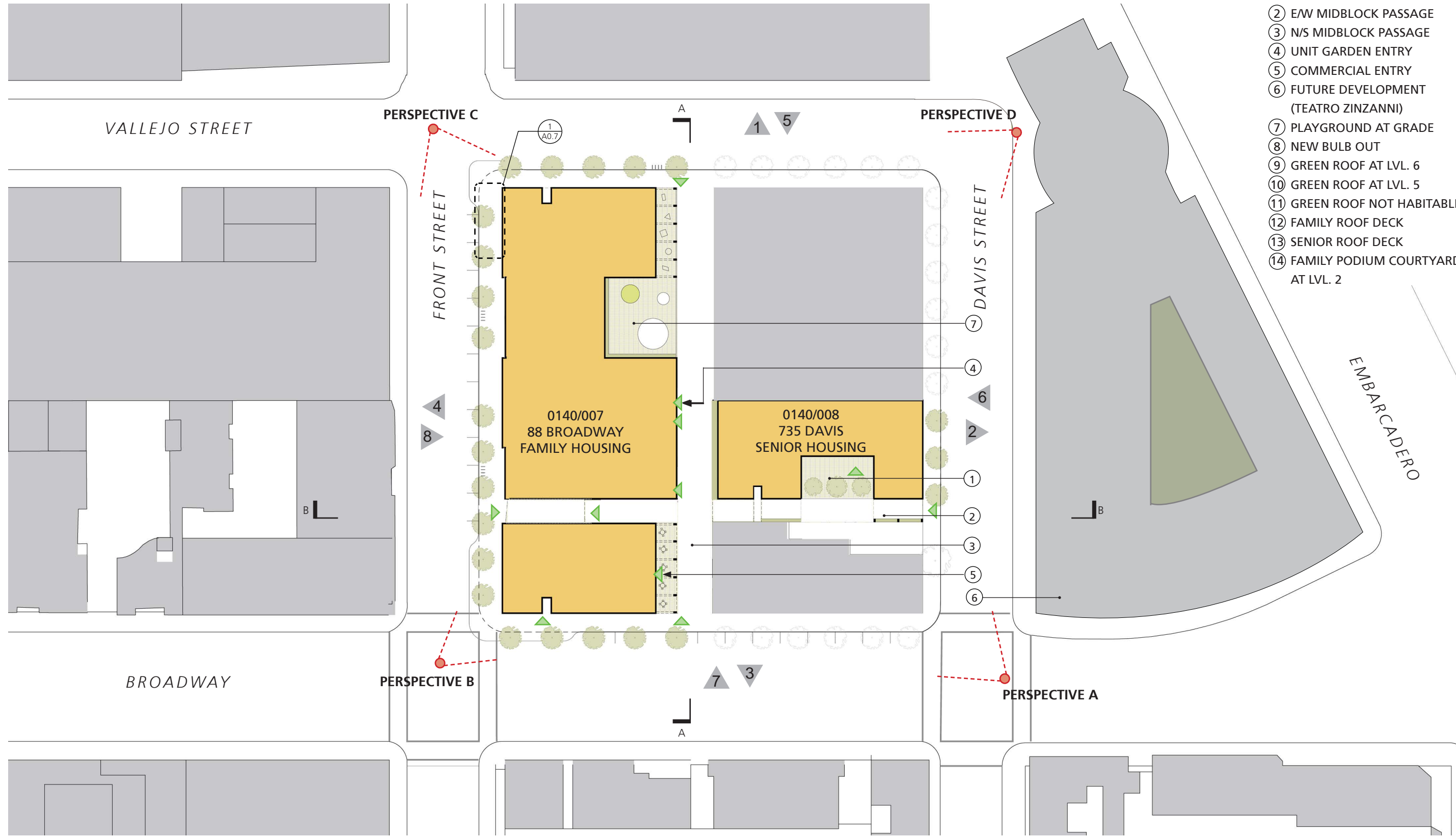


LIGHT AND VIEWS

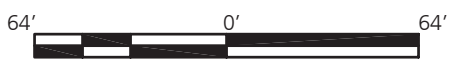




- ① COMMON COURTYARD AT GRADE
- ② EW MIDBLOCK PASSAGE
- ③ N/S MIDBLOCK PASSAGE
- ④ UNIT GARDEN ENTRY
- ⑤ COMMERCIAL ENTRY
- ⑥ FUTURE DEVELOPMENT (TEATRO ZINZANNI)
- ⑦ PLAYGROUND AT GRADE
- ⑧ NEW BULB OUT
- ⑨ GREEN ROOF AT LVL. 6
- ⑩ GREEN ROOF AT LVL. 5
- ⑪ GREEN ROOF NOT HABITABLE
- ⑫ FAMILY ROOF DECK
- ⑬ SENIOR ROOF DECK
- ⑭ FAMILY PODIUM COURTYARD AT LVL. 2



▲ PANORAMIC SEE A0.8-A0.9



KEY PLAN





CURRENT MASSING

PERSPECTIVE B - BROADWAY X FRONT STREET

NORTHEAST WATERFRONT  
DESIGN ADVISORY GROUP #3

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CURRENT MASSING

PERSPECTIVE C - FRONT X VALLEJO STREETS

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A3.5 LMSA



CURRENT MASSING

PERSPECTIVE A - BROADWAY X DAVIS STREET

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A3.6 LMSA



**PERSPECTIVE D - VALLEJO X DAVIS STREETS**

NORTHEAST WATERFRONT  
DESIGN ADVISORY GROUP #3

**88 BROADWAY/+735 DAVIS**



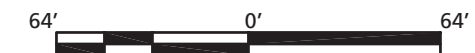
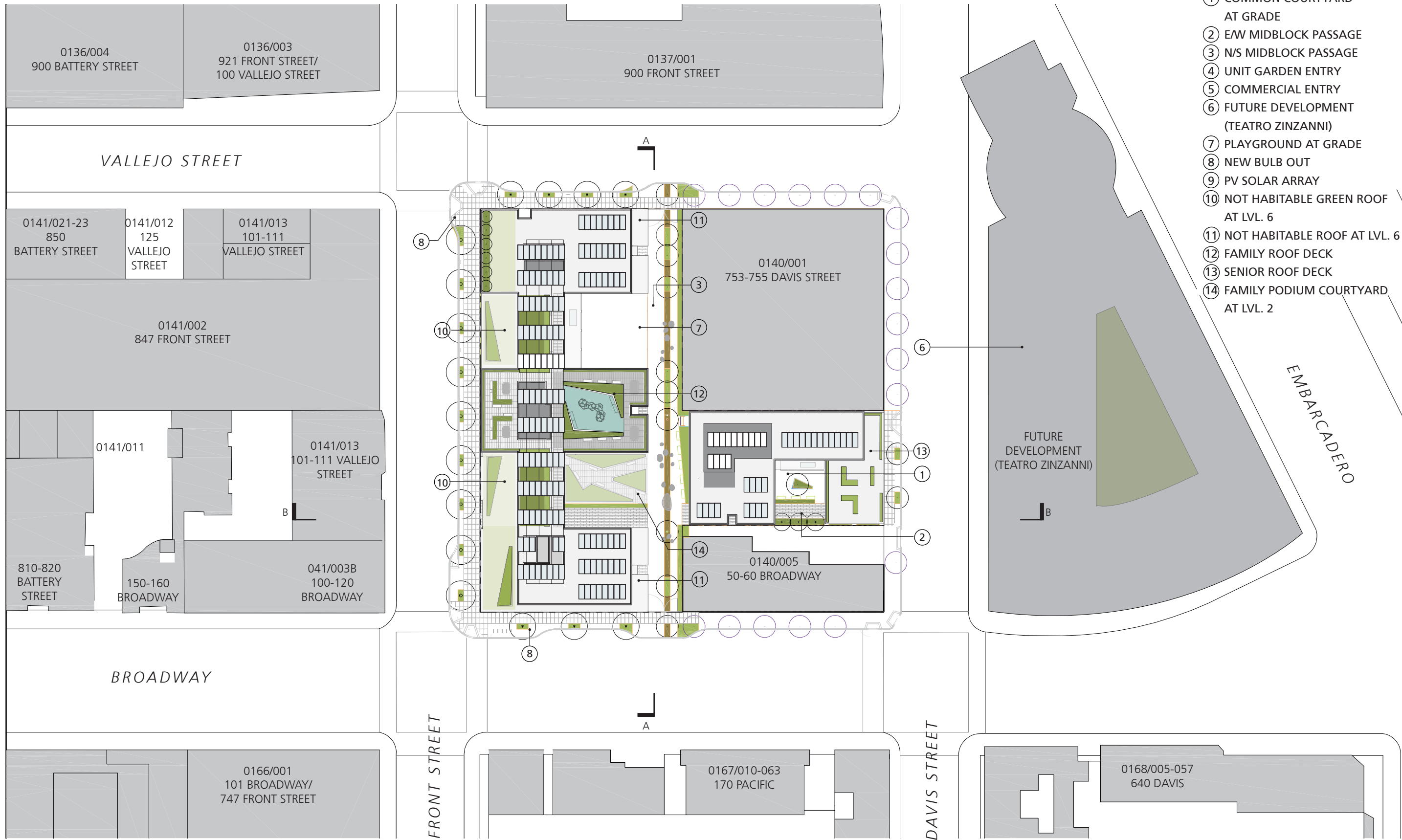
THE JOHN STEWART  
COMPANY

BRIDGE  
HOUSING

**A3.7 LMSA**

SITE PLAN / KEYPLAN KEYNOTES:

- ① COMMON COURTYARD AT GRADE
- ② E/W MIDBLOCK PASSAGE
- ③ N/S MIDBLOCK PASSAGE
- ④ UNIT GARDEN ENTRY
- ⑤ COMMERCIAL ENTRY
- ⑥ FUTURE DEVELOPMENT (TEATRO ZINZANNI)
- ⑦ PLAYGROUND AT GRADE
- ⑧ NEW BULB OUT
- ⑨ PV SOLAR ARRAY
- ⑩ NOT HABITABLE GREEN ROOF AT LVL. 6
- ⑪ NOT HABITABLE ROOF AT LVL. 6
- ⑫ FAMILY ROOF DECK
- ⑬ SENIOR ROOF DECK
- ⑭ FAMILY PODIUM COURTYARD AT LVL. 2



SITE PLAN



A3.8 LMSA 88 BROADWAY/+735 DAVIS

NORTHEAST WATERFRONT DESIGN ADVISORY GROUP #3

SCALE: 1/64" = 1'-0"

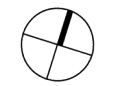
LEVEL 1 PLAN

FLOOR PLAN KEYNOTES:

- ① UNIT ENTRY GATE / FENCE
- ② TREE WELL COVER; S.L.D.
- ③ TEXTURED PAVEMENT, CONC. PAVERS; S.L.D.
- ④ MID-BLOCK GATE
- ⑤ GRADE PLANTER
- ⑥ NEW STREET TREE
- ⑦ CLASS II BIKE PARKING
- ⑧ MTL. & GLASS CANOPY
- ⑨ BENCH S.L.D.
- ⑩ COURTYARD FENCE
- ⑪ NEW CURB RAMP
- ⑫ NEW CURB CUT
- ⑬ EXISTING CURB CUT TO REMAIN
- ⑭ EXISTING CURB CUT TO BE REMOVED
- ⑮ ELEVATORS
- ⑯ PAVERS
- ⑰ HORIZONTAL EXIT
- ⑱ GREEN ROOF NOT HABITABLE
- ⑲ NEW BULB OUT
- ⑳ PLAY STRUCTURE
- ㉑ FURNITURE BY OTHERS
- ㉒ RAISED PLANTERS
- ㉓ PV SOLAR ARRAY
- ㉔ SENIOR ROOF TERRACE LVL. 5
- ㉕ STL. & CABLE RAILING

LEGEND:

- COMMERCIAL / CHILDCARE
- RESIDENTIAL UNITS
- CIRCULATION & SUPPORT
- SERVICE

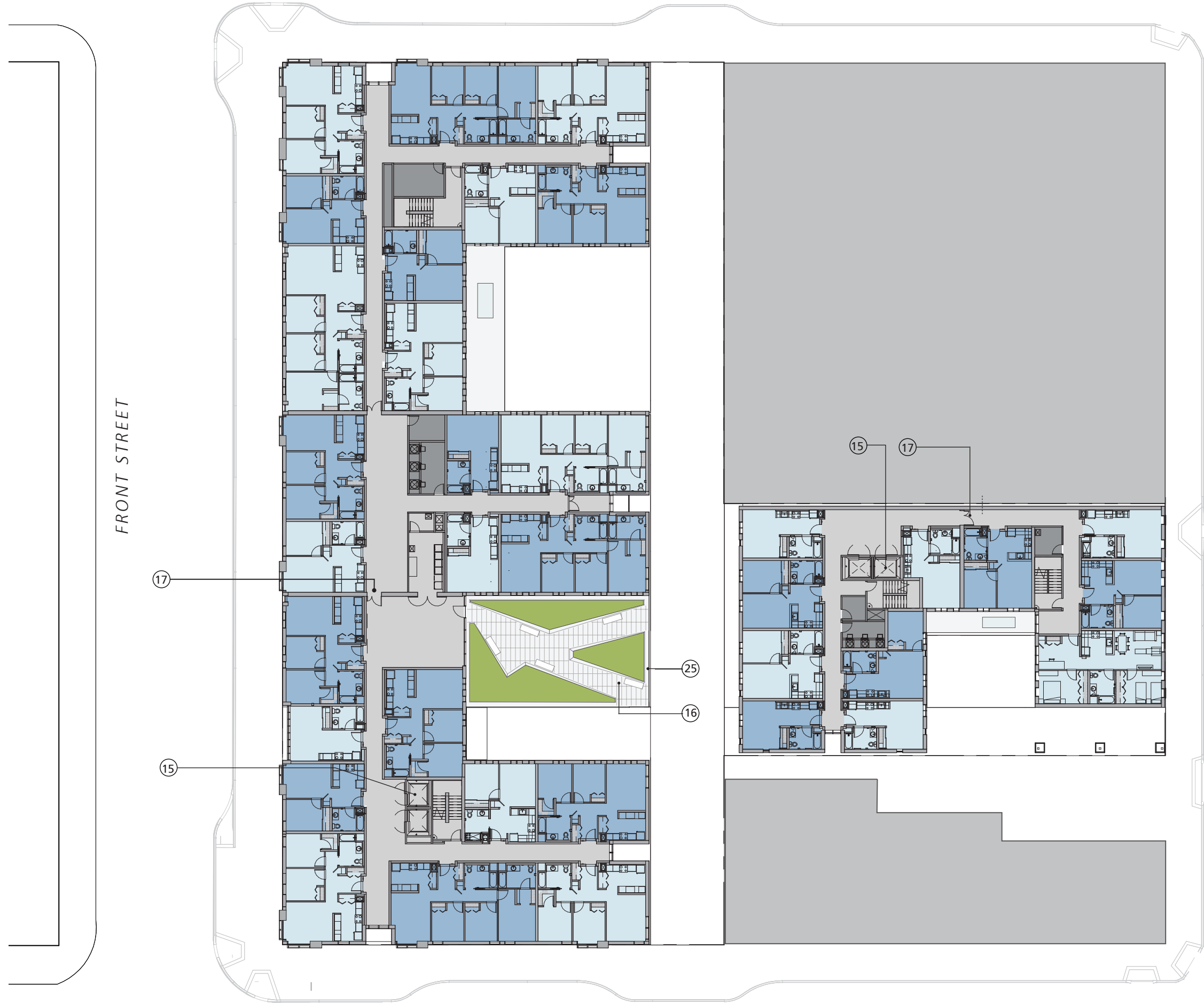


FLOOR PLAN KEYNOTES:

- ① UNIT ENTRY GATE / FENCE
- ② TREE WELL COVER; S.L.D.
- ③ TEXTURED PAVEMENT, CONC. PAVERS; S.L.D.
- ④ MID-BLOCK GATE
- ⑤ GRADE PLANTER
- ⑥ NEW STREET TREE
- ⑦ CLASS II BIKE PARKING
- ⑧ MTL. & GLASS CANOPY
- ⑨ BENCH S.L.D.
- ⑩ COURTYARD FENCE
- ⑪ NEW CURB RAMP
- ⑫ NEW CURB CUT
- ⑬ EXISTING CURB CUT TO REMAIN
- ⑭ EXISTING CURB CUT TO BE REMOVED
- ⑮ ELEVATORS
- ⑯ PAVERS
- ⑰ HORIZONTAL EXIT
- ⑱ GREEN ROOF NOT HABITABLE
- ⑲ NEW BULB OUT
- ⑳ PLAY STRUCTURE
- ㉑ FURNITURE BY OTHERS
- ㉒ RAISED PLANTERS
- ㉓ PV SOLAR ARRAY
- ㉔ SENIOR ROOF TERRACE LVL. 5
- ㉕ STL. & CABLE RAILING

LEGEND:

- COMMERCIAL / CHILDCARE
- RESIDENTIAL UNITS
- CIRCULATION & SUPPORT
- SERVICE



DAVIS STREET

FRONT STREET

BROADWAY STREET



SCALE: 1/32" = 1'-0"

LEVEL 2 PLAN



NORTHEAST WATERFRONT DESIGN ADVISORY GROUP #3

A3.10 LMSA 88 BROADWAY/+735 DAVIS

FLOOR PLAN KEYNOTES:

- ① UNIT ENTRY GATE / FENCE
- ② TREE WELL COVER; S.L.D.
- ③ TEXTURED PAVEMENT, CONC. PAVERS; S.L.D.
- ④ MID-BLOCK GATE
- ⑤ GRADE PLANTER
- ⑥ NEW STREET TREE
- ⑦ CLASS II BIKE PARKING
- ⑧ MTL. & GLASS CANOPY
- ⑨ BENCH S.L.D.
- ⑩ COURTYARD FENCE
- ⑪ NEW CURB RAMP
- ⑫ NEW CURB CUT
- ⑬ EXISTING CURB CUT TO REMAIN
- ⑭ EXISTING CURB CUT TO BE REMOVED
- ⑮ ELEVATORS
- ⑯ PAVERS
- ⑰ HORIZONTAL EXIT
- ⑱ GREEN ROOF NOT HABITABLE
- ⑲ NEW BULB OUT
- ⑳ PLAY STRUCTURE
- ㉑ FURNITURE BY OTHERS
- ㉒ RAISED PLANTERS
- ㉓ PV SOLAR ARRAY
- ㉔ SENIOR ROOF TERRACE LVL. 5
- ㉕ STL. & CABLE RAILING

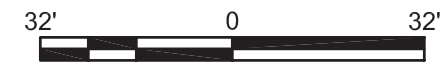
LEGEND:

- COMMERCIAL / CHILDCARE
- RESIDENTIAL UNITS
- CIRCULATION & SUPPORT
- SERVICE



DAVIS STREET

FRONT STREET



SCALE: 1/32" = 1'-0"

LEVEL 5 PLAN



NORTHEAST WATERFRONT DESIGN ADVISORY GROUP #3

A3.11 LMSA 88 BROADWAY/+735 DAVIS



FLOOR PLAN KEYNOTES:

- ① UNIT ENTRY GATE / FENCE
- ② TREE WELL COVER; S.L.D.
- ③ TEXTURED PAVEMENT, CONC. PAVERS; S.L.D.
- ④ MID-BLOCK GATE
- ⑤ GRADE PLANTER
- ⑥ NEW STREET TREE
- ⑦ CLASS II BIKE PARKING
- ⑧ MTL. & GLASS CANOPY
- ⑨ BENCH S.L.D.
- ⑩ COURTYARD FENCE
- ⑪ NEW CURB RAMP
- ⑫ NEW CURB CUT
- ⑬ EXISTING CURB CUT TO REMAIN
- ⑭ EXISTING CURB CUT TO BE REMOVED
- ⑮ ELEVATORS
- ⑯ PAVERS
- ⑰ HORIZONTAL EXIT
- ⑱ GREEN ROOF NOT HABITABLE
- ⑲ NEW BULB OUT
- ⑳ PLAY STRUCTURE
- ㉑ FURNITURE BY OTHERS
- ㉒ RAISED PLANTERS
- ㉓ PV SOLAR ARRAY
- ㉔ SENIOR ROOF TERRACE LVL. 5
- ㉕ STL. & CABLE RAILING

LEGEND:

- COMMERCIAL / CHILDCARE
- RESIDENTIAL UNITS
- CIRCULATION & SUPPORT
- SERVICE

SCALE: 1/32" = 1'-0"

NORTHEAST WATERFRONT DESIGN ADVISORY GROUP #3

LEVEL 6 PLAN

A3.12 LMSA 88 BROADWAY/+735 DAVIS



FRONT STREET

DAVIS STREET

BROADWAY STREET



FLOOR PLAN KEYNOTES:

- ① UNIT ENTRY GATE / FENCE
- ② TREE WELL COVER; S.L.D.
- ③ TEXTURED PAVEMENT, CONC. PAVERS; S.L.D.
- ④ MID-BLOCK GATE
- ⑤ GRADE PLANTER
- ⑥ NEW STREET TREE
- ⑦ CLASS II BIKE PARKING
- ⑧ MTL. & GLASS CANOPY
- ⑨ BENCH S.L.D.
- ⑩ COURTYARD FENCE
- ⑪ NEW CURB RAMP
- ⑫ NEW CURB CUT
- ⑬ EXISTING CURB CUT TO REMAIN
- ⑭ EXISTING CURB CUT TO BE REMOVED
- ⑮ ELEVATORS
- ⑯ PAVERS
- ⑰ HORIZONTAL EXIT
- ⑱ GREEN ROOF NOT HABITABLE
- ⑲ NEW BULB OUT
- ⑳ PLAY STRUCTURE
- ㉑ FURNITURE BY OTHERS
- ㉒ RAISED PLANTERS
- ㉓ PV SOLAR ARRAY
- ㉔ SENIOR ROOF TERRACE LVL. 5
- ㉕ STL. & CABLE RAILING
- ㉖ SOLAR HOT WATER PANELS

LEGEND:

- COMMERCIAL / CHILDCARE
- RESIDENTIAL UNITS
- CIRCULATION & SUPPORT
- SERVICE



FRONT STREET

DAVIS STREET

BROADWAY STREET



SCALE: 1/32" = 1'-0"

ROOF PLAN



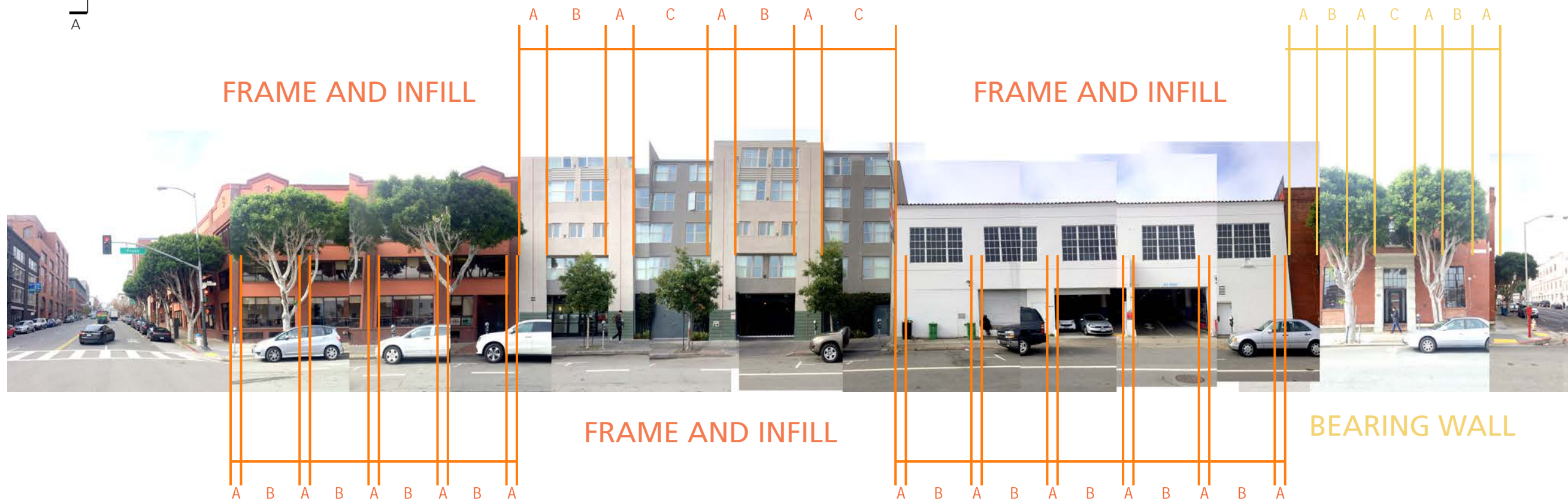
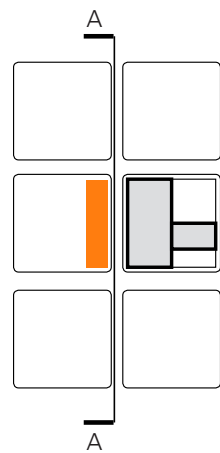
A3.13 LMSA 88 BROADWAY/+735 DAVIS

NORTHEAST WATERFRONT DESIGN ADVISORY GROUP #3

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# HISTORIC COMPATIBILITY

**FRONT STREET**  
(PACIFIC THROUGH BROADWAY)



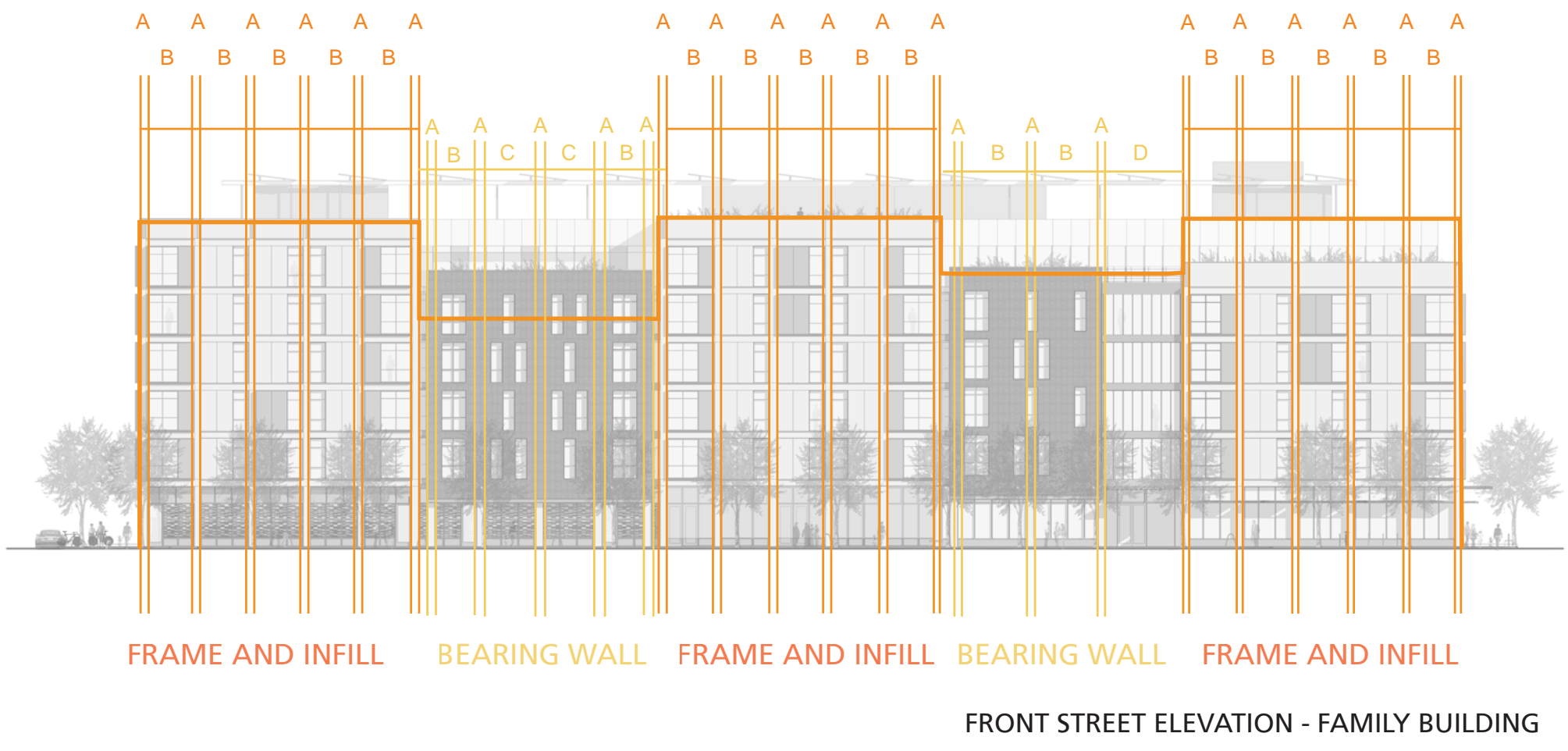
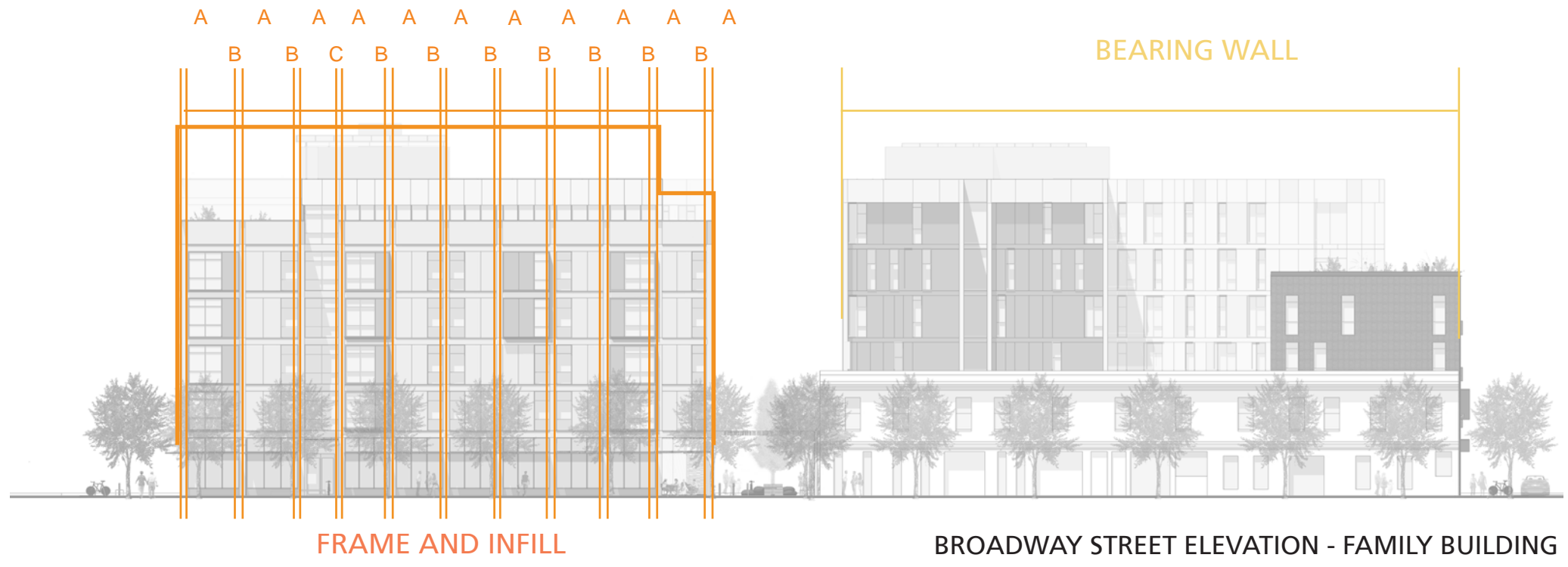
**BROADWAY**

**FRONT STREET AA**

**VALLEJO**

**SAN FRANCISCO PLANNING CODE  
SECTION 6. FEATURES:**

- (B) SCALE AND PROPORTION. THE BUILDINGS ARE OF TYPICAL **WAREHOUSE DESIGN**, LARGE IN BULK, OFTEN WITH LARGE ARCHES AND OPENINGS ORIGINALLY DESIGNED FOR EASY VEHICULAR ACCESS.
- THERE IS A **REGULARITY OF OVERALL** FORM.
- THE EARLIER BRICK STRUCTURES BLEND EASILY WITH THE SCALED-DOWN BEAUX ARTS FORMS OF THE TURN OF THE CENTURY AND THE PLAIN REINFORCED-CONCRETE STRUCTURES CHARACTERISTIC OF TWENTIETH CENTURY INDUSTRIAL ARCHITECTURE.



FRONT STREET ELEVATION - FAMILY BUILDING

**ELEVATION AND SECTION KEYNOTES:**

- ① TYPE 1 CEMENTITIOUS PANEL "FRAME"
- ② TYPE 2 CEMENTITIOUS PANEL "PROJECTION"
- ③ TYPE 3 CEMENTITIOUS PANEL "INFILL"
- ④ ALUMINUM WINDOW
- ⑤ CONCRETE COLUMNS
- ⑥ STANCHION MOUNTED ROOF SOLAR PANELS
- ⑦ METAL AND GLASS AWNING
- ⑧ PROJECTED WINDOW, METAL EDGE
- ⑨ METAL ROLL UP GARAGE DOOR
- ⑩ THIN BRICK
- ⑪ METAL GRATE + GLASS PANEL FENCE/GATE
- ⑫ ENCLOSED ROOFTOP MECHANICAL SPACES
- ⑬ PERFORATED METAL JULIET BALCONY
- ⑭ ALUMINUM STOREFRONT
- ⑮ PAINTED STUCCO
- ⑯ BALCONY
- ⑰ PARAPET COPING 42" ABOVE ROOF PLANE
- ⑱ PROPOSED TREE
- ⑲ EXISTING TREE
- ⑳ RAISED PLANTER
- ㉑ SIGNAGE
- ㉒ CONCRETE "BULK HEAD"
- ㉓ METAL GUARD RAIL
- ㉔ METAL PLANTER
- ㉕ PLATE METAL CANOPY



DESIGN UPDATES OF THE CURRENT SCHEME IN RELATION TO THE ARC APPROVED SCHEME

**CURRENT SCHEME**

**ELEVATION AND SECTION KEYNOTES:**

- ① TYPE 1 CEMENTITIOUS PANEL "FRAME"
- ② TYPE 2 CEMENTITIOUS PANEL "PROJECTION"
- ③ TYPE 3 CEMENTITIOUS PANEL "INFILL"
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- ㉒ CONCRETE "BULK HEAD"
- ㉓ METAL GUARD RAIL
- ㉔ METAL PLANTER
- ㉕ PLATE METAL CANOPY



**CURRENT SCHEME**



SCALE: 1/32" = 1'-0"

NORTHEAST WATERFRONT  
DESIGN ADVISORY GROUP #3

ELEVATIONS



A4.4 LMSA 88 BROADWAY/+735 DAVIS

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# MASSING AND BUILDING HEIGHT





**AERIAL VIEW FROM SOUTH EAST**

NORTHEAST WATERFRONT  
DESIGN ADVISORY GROUP #3

**A5.1 LMSA 88 BROADWAY/+735 DAVIS**



NEIGHBORHOOD MASSING STUDY - PRE RFP

CURRENT MASSING



MARK CAVAGNERO ASSOCIATES/  
CARY BERNSTEIN ARCHITECT  
JOINT VENTURE

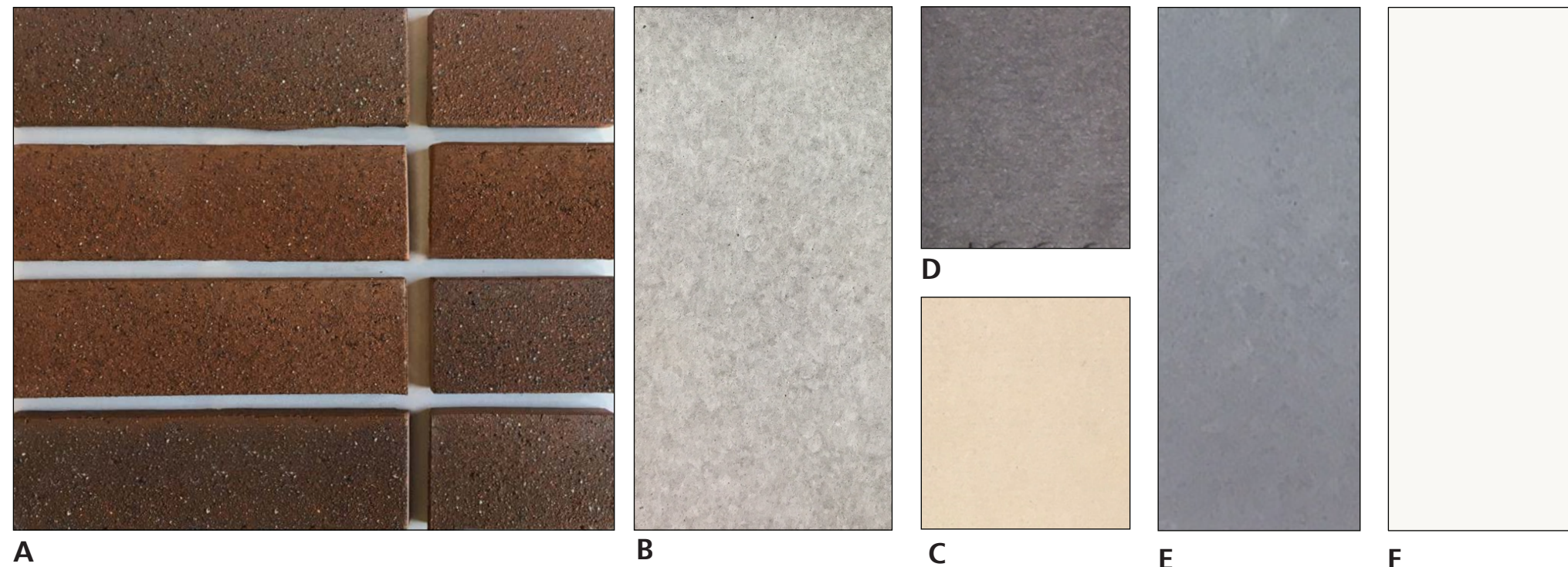
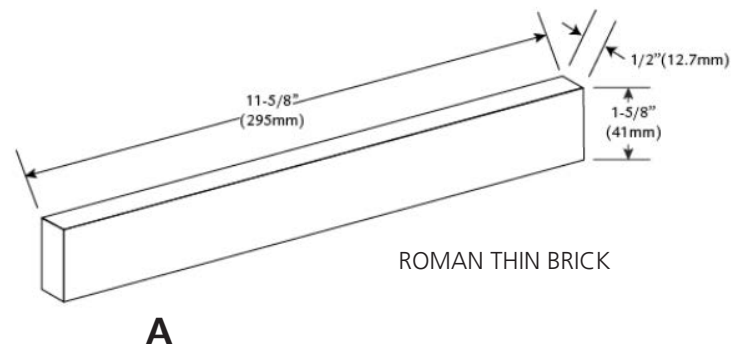
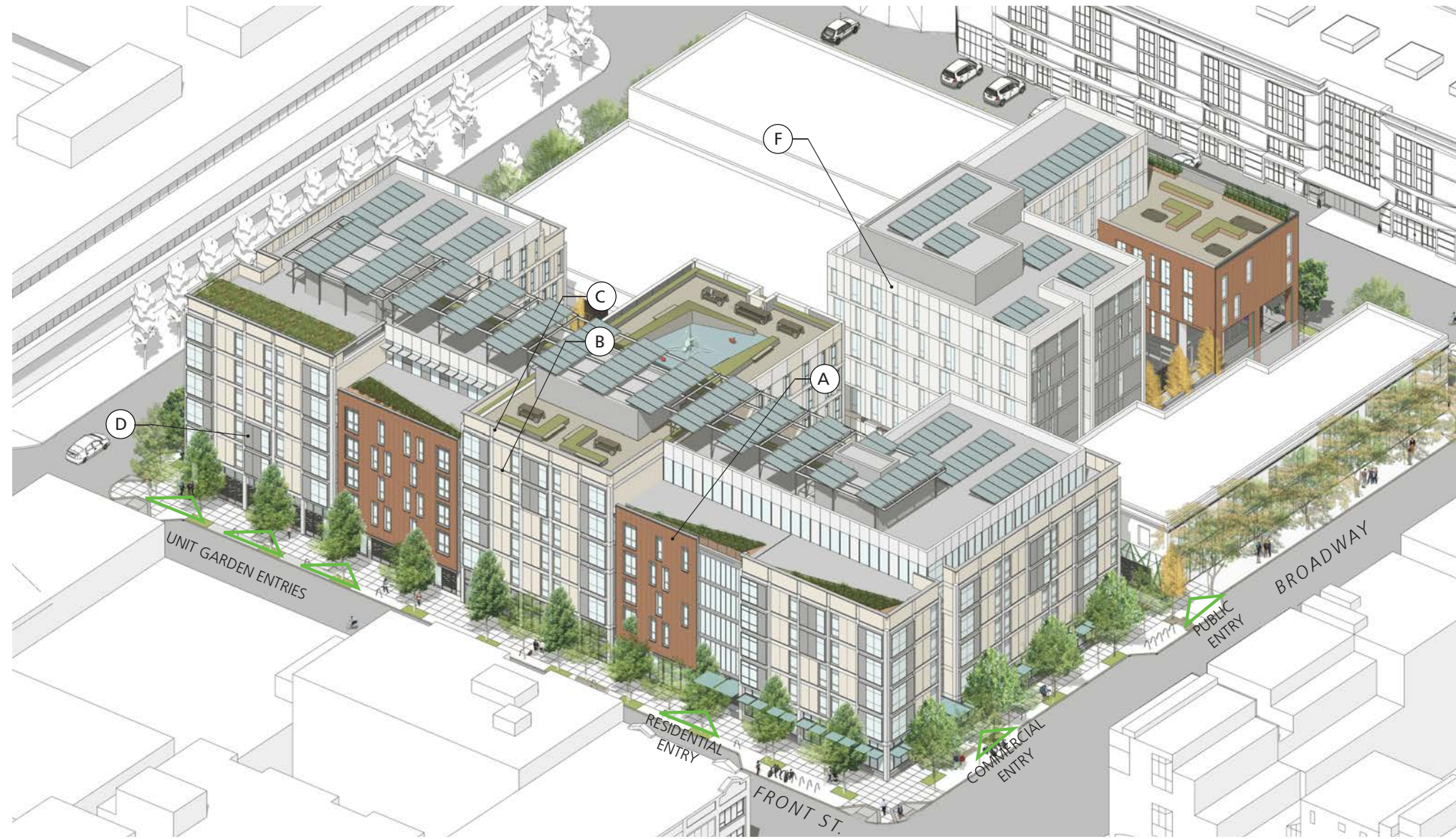
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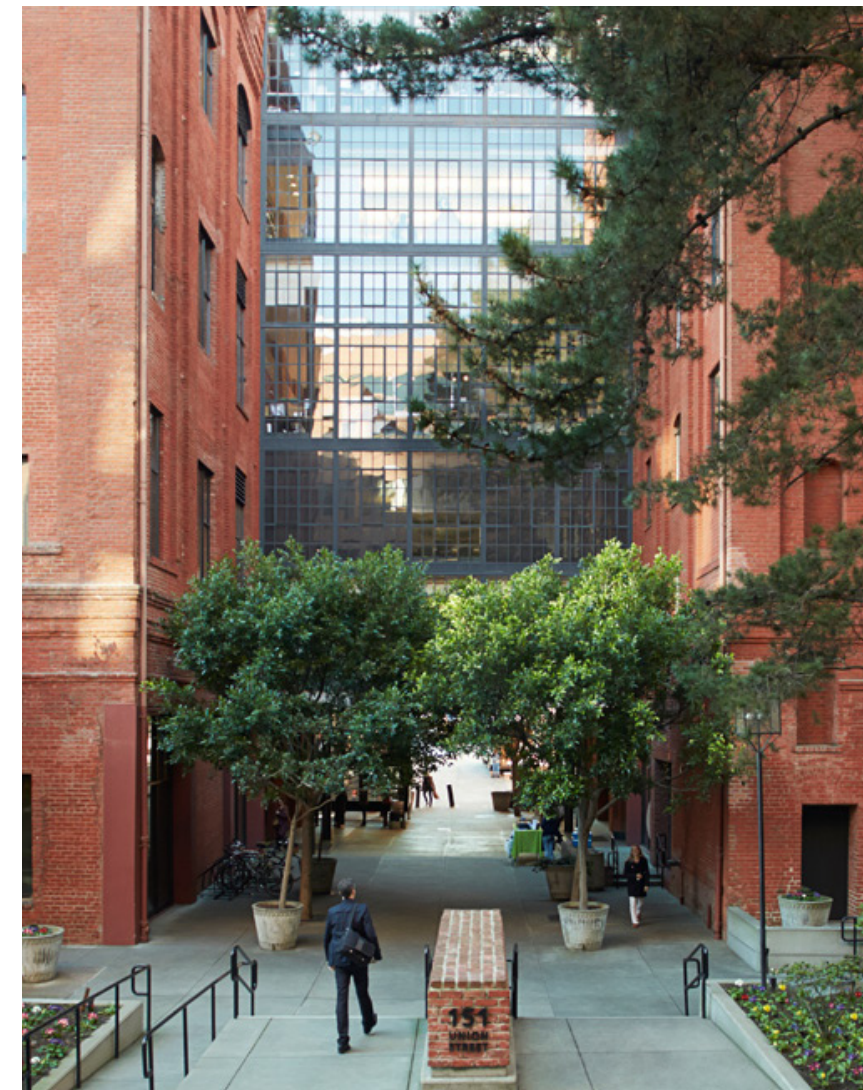
# MATERIALS

### MATERIAL KEY

- A. Roman Thin Brick- Autumn Sand \*
- B. Minerit Cement Siding - HD Grey
- C. Cembrit Patina Cement Siding - 911 Sand
- D. Cembrit Patina Cement Siding - 921 Flint
- E. Davis Concrete - Silversmoke
- F. Stucco

\* Roman Thin Brick is used in replacement of red cement siding





SAN FRANCISCO PLANNING CODE SECTION 6. FEATURES:

FRONT STREET ELEVATION - FAMILY BUILDING

BRICK/GLASS CONTRAST EXAMPLE WITHIN DISTRICT  
Ice House, 1150 Sansome St.

|              |            |          |                  |          |                               |          |            |          |                                |              |          |          |                     |          |                          |          |          |
|--------------|------------|----------|------------------|----------|-------------------------------|----------|------------|----------|--------------------------------|--------------|----------|----------|---------------------|----------|--------------------------|----------|----------|
| NEIGHBORHOOD |            |          |                  |          |                               |          |            |          |                                | NEIGHBORHOOD |          |          |                     |          |                          |          |          |
| PROPOSED     |            |          |                  |          |                               |          |            |          |                                | PROPOSED     |          |          |                     |          |                          |          |          |
| <b>A</b>     | THIN BRICK | <b>B</b> | ALUMINUM WINDOWS | <b>C</b> | NATURAL CEMENT SIDING "FRAME" | <b>D</b> | PROJECTION | <b>E</b> | PAINTED CEMENT SIDING "INFILL" | <b>F</b>     | CONCRETE | <b>G</b> | ALUMINUM STOREFRONT | <b>H</b> | CONTRASTING CEMENT PANEL | <b>I</b> | BULKHEAD |

- (D) MATERIALS. STANDARD **BRICK MASONRY** IS PREDOMINANT FOR THE OLDEST BUILDINGS IN THE DISTRICT, WITH **REINFORCED CONCRETE** INTRODUCED AFTER THE 1906 FIRE.
- SOME OF THE BRICK FACADES HAVE BEEN STUCCOED OVER.
- ONE OF THE STRUCTURES STILL HAS ITS **METAL SHUTTERS**, WHICH WERE ONCE TYPICAL OF THE AREA.



**SAN FRANCISCO PLANNING CODE  
SECTION 6. FEATURES:**

DAVIS STREET ELEVATION - SENIOR BUILDING

|              |                 |          |                   |          |                         |          |                         |          |                          |          |                            |          |                                 |          |               |
|--------------|-----------------|----------|-------------------|----------|-------------------------|----------|-------------------------|----------|--------------------------|----------|----------------------------|----------|---------------------------------|----------|---------------|
| NEIGHBORHOOD |                 |          |                   |          |                         |          |                         |          | NEIGHBORHOOD             |          |                            |          |                                 |          |               |
| PROPOSED     |                 |          |                   |          |                         |          |                         |          | PROPOSED                 |          |                            |          |                                 |          |               |
| <b>A</b>     | <i>BULKHEAD</i> | <b>B</b> | <i>THIN BRICK</i> | <b>C</b> | <i>ALUMINUM WINDOWS</i> | <b>D</b> | <i>JULIETTE BALCONY</i> | <b>E</b> | <i>STAGGERED WINDOWS</i> | <b>F</b> | <i>ALUMINUM STOREFRONT</i> | <b>G</b> | <i>CONTRASTING CEMENT PANEL</i> | <b>H</b> | <i>STUCCO</i> |

- (D)MATERIALS. STANDARD **BRICK MASONRY** IS PREDOMINANT FOR THE OLDEST BUILDINGS IN THE DISTRICT, WITH **REINFORCED CONCRETE** INTRODUCED AFTER THE 1906 FIRE.
- SOME OF THE BRICK FACADES HAVE BEEN STUCCOED OVER.
- ONE OF THE STRUCTURES STILL HAS ITS **METAL SHUTTERS**, WHICH WERE ONCE TYPICAL OF THE AREA.

7

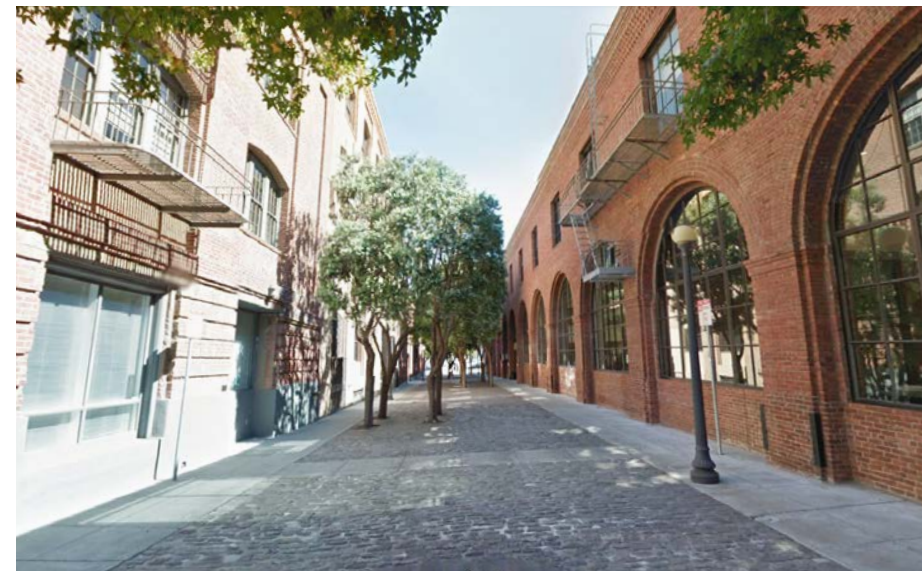
# MID-BLOCK PASSAGES

**ELEVATION AND SECTION KEYNOTES:**

- ① TYPE 1 CEMENTITIOUS PANEL "FRAME"
- ② TYPE 2 CEMENTITIOUS PANEL "PROJECTION"
- ③ TYPE 3 CEMENTITIOUS PANEL "INFILL"
- ④ ALUMINUM WINDOW
- ⑤ CONCRETE COLUMNS
- ⑥ STANCHION MOUNTED ROOF SOLAR PANELS
- ⑦ METAL AND GLASS AWNING
- ⑧ PROJECTED WINDOW, METAL EDGE
- ⑨ METAL ROLL UP GARAGE DOOR
- ⑩ THIN BRICK
- ⑪ METAL GRATE + GLASS PANEL FENCE/GATE
- ⑫ ENCLOSED ROOFTOP MECHANICAL SPACES
- ⑬ PERFORATED METAL JULIET BALCONY
- ⑭ ALUMINUM STOREFRONT
- ⑮ PAINTED STUCCO
- ⑯ BALCONY
- ⑰ PARAPET COPING 42" ABOVE ROOF PLANE
- ⑱ PROPOSED TREE
- ⑲ EXISTING TREE
- ⑳ RAISED PLANTER
- ㉑ SIGNAGE
- ㉒ CONCRETE "BULK HEAD"
- ㉓ METAL GUARD RAIL
- ㉔ METAL PLANTER
- ㉕ PLATE METAL CANOPY



SECTION THROUGH E / W PASSAGE



PASSAGE WITHIN THE DISTRICT - JOHN MAHER STREET



BROADWAY MID-BLOCK PASSAGE LOOKING NORTH



BROADWAY MID-BLOCK PASSAGE LOOKING NORTH

SCALE: 1/32" = 1'-0"

SECTIONS - MID-BLOCK PASSAGE

NORTHEAST WATERFRONT  
DESIGN ADVISORY GROUP #3

88 BROADWAY/+735 DAVIS

A7.1 LMSA







**DAVIS MID-BLOCK PASSAGE**

NORTHEAST WATERFRONT  
DESIGN ADVISORY GROUP #3

**A7.2 LMSA 88 BROADWAY/+735 DAVIS**



**BROADWAY MID-BLOCK PASSAGE**

NORTHEAST WATERFRONT  
DESIGN ADVISORY GROUP #3

**88 BROADWAY/+735 DAVIS**



**A7.3 LMSA**